

L. Quin  
Drafting

Notice under Section 126 of 2000 Act

ABP Case ID: 313947

Section 126 Notice ✓

A board decision will not be made in this case before the expiration of the 18 weeks statutory objective period.

Reason: Backlog of cases

A section 126 notice with a 'revised to' date of before the 27/1/23 is approved subject to checking any recent correspondence not attached to file.

CO/DCA/DP/ADP/SAO BK

Date 1/11

1. K47 Authorisation

A section 126 notice issued in this case setting a revised decide by date as indicated above. A decision will not be taken by the board before the revised date specified in the section 126 notice.

Reason: \_\_\_\_\_

A K47 letter is approved for issue in this case. Place a target date of \_\_\_\_\_ weeks on the database within which to decide this case subject to checking any recent correspondence not attached to the file.

CO/DCA/DP/ADP/SAO \_\_\_\_\_

Date \_\_\_\_\_

2. EO:

Issue section 126 notice/ K47 Letter as above to \_\_\_\_\_

SEO: \_\_\_\_\_

Date \_\_\_\_\_

3. AA:

Please prepare BP90 Section 126 notice/ K47 letter as above to Task 304203-22 to all parties x 22

EO: Karen Hickey

Date 11/1/22

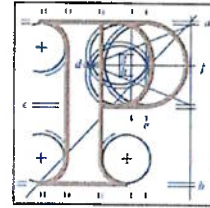
AA: L. Quin

Date 1/1/22

Case Narrative.

Our Case Number: ABP-313947-22

Planning Authority Reference Number: 2863/21



An  
Bord  
Pleanála

~An Taisce  
Tailor's Hall  
Back Lane  
Dublin 8  
D08 X2A3

Date: 01 November 2022

Re: PROTECTED STRUCTURE: for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
22-25 Moore Street, 13 Moore Lane, 14-15 Moore Lane, Dublin 1.

Dear Sir / Madam,

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The Board will take all such steps as are open to it to ensure that the appeal is determined before that date.

Yours faithfully,

*Karen Hickey*

Lisa Quinn  
Executive Officer  
Direct Line: 01-8737158

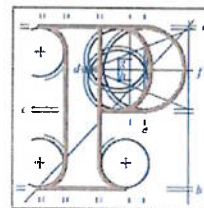
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1890 275 175  
(01) 872 2684  
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bord@pleanala.ie

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Baile Átha Cliath 1  
D01 V902  
64 Marlborough Street  
Dublin 1  
D01 V902

**Our Case Number:** ABP-313947-22

**Planning Authority Reference Number:** 2863/21



**An  
Bord  
Pleanála**

Aengus Ó Snodaigh TD and Cllr Máire Devine  
Teach Laighean  
Sráid Chill Dara  
Baile Átha Cliath  
Dublin 2

**Date:** 01 November 2022

**Re:** PROTECTED STRUCTURE: for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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Executive Officer  
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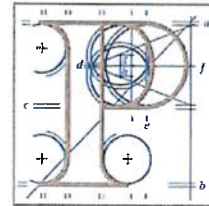
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**Our Case Number:** ABP-313947-22

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**An  
Bord  
Pleanála**

Clíodhna NicBhranair  
Áras Uí Chonghaile  
374-376 Falls Road  
Belfast  
BT12 6DG  
Northern Ireland

**Date:** 01 November 2022

**Re:** PROTECTED STRUCTURE: for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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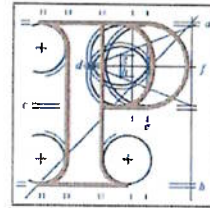
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**An  
Bord  
Pleanála**

Cllr Donna Cooney  
4 Victoria Road,  
Clontarf  
Dublin 3  
D03 P2V5

**Date:** 01 November 2022

**Re:** PROTECTED STRUCTURE: for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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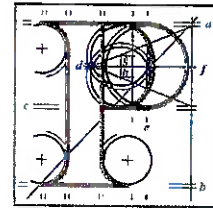
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An  
Bord  
Pleanála

Colm O'Murchu  
121 Hollybank Road  
Drumcondra  
Dublin 9

Date: 01 November 2022

**Re: PROTECTED STRUCTURE:** for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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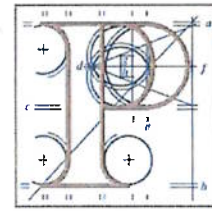
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**Our Case Number:** ABP-313947-22

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**An  
Bord  
Pleanála**

Diarmuid Breatnach  
34 Geata an tSéipéil  
Bóthar San Alfonsas  
BÁC 9  
Dublin 9

**Date:** 01 November 2022

**Re:** PROTECTED STRUCTURE: for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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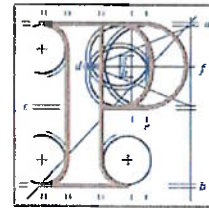
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**Our Case Number:** ABP-313947-22

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**An  
Bord  
Pleanála**

DMOD Architects  
C/o Thomas Russell  
Cathedral Court  
New Street  
Dublin 8  
D08 YY51

**Date:** 01 November 2022

**Re:** PROTECTED STRUCTURE: for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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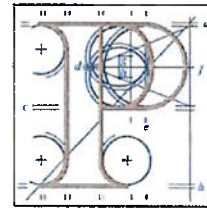
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D01 V902

**Our Case Number:** ABP-313947-22

**Planning Authority Reference Number:** 2863/21

**Your Reference:** Dublin Central GP Ltd



**An  
Bord  
Pleanála**

Stephen Little & Associates  
26/27 Upper Pembroke Street  
Dublin  
Dublin 2  
D02 X361

**Date:** 01 November 2022

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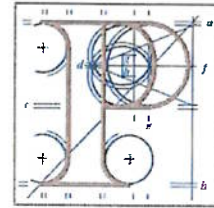
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**An  
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Dublin City Council North  
Planning & Development  
Civic Offices  
Block 4, Floor 3  
Wood Quay  
Dublin 8

**Date:** 01 November 2022

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Lisa Quinn

Executive Officer

Direct Line: 01-8737158

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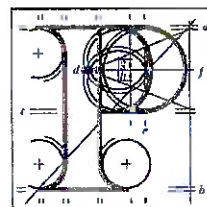
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**An  
Bord  
Pleanála**

Elizabeth Troy  
Troy's Butchers  
Moore Street  
Dublin 1

**Date:** 01 November 2022

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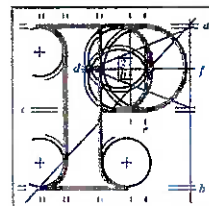
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Gerry Adams  
53/55 Falls Road  
Belfast  
Antrim  
BT122PD  
Northern Ireland

Date: 01 November 2022

**Re: PROTECTED STRUCTURE:** for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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Yours faithfully,

*Lisa Quinn*

Lisa Quinn  
Executive Officer  
Direct Line: 01-8737158

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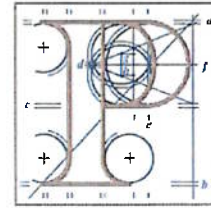
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Láithreán Gréasáin	Website	www.pleanala.ie
Ríomhphost	Email	bord@pleanala.ie

64 Sráid Maoilbhríde	64 Marlborough Street
Baile Átha Cliath 1	Dublin 1
D01 V902	D01 V902



**Our Case Number:** ABP-313947-22

**Planning Authority Reference Number:** 2863/21



**An  
Bord  
Pleanála**

Henry Connolly  
Fáilte Feirste Thiar  
217 Falls Road  
Belfast  
BT12 6FB  
Northern Ireland

**Date:** 01 November 2022

**Re:** PROTECTED STRUCTURE: for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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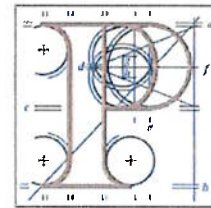
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**Our Case Number:** ABP-313947-22

**Planning Authority Reference Number:** 2863/21



An  
Bord  
Pleanála

Mary Lou McDonald  
Leinster House Office  
Kildare Street  
Dublin 2

**Date:** 01 November 2022

**Re:** PROTECTED STRUCTURE: for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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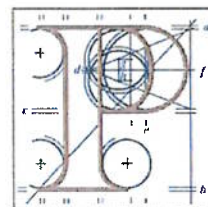
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**Our Case Number:** ABP-313947-22

**Planning Authority Reference Number:** 2863/21



**An  
Bord  
Pleanála**

Moore Street Preservation Society  
C/o Charles Hulgraine  
6 Orchard Avenue  
Clonsilla  
Dublin 15

**Date:** 01 November 2022

**Re:** PROTECTED STRUCTURE: for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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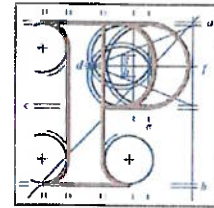
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**Our Case Number:** ABP-313947-22

**Planning Authority Reference Number:** 2863/21



**An  
Bord  
Pleanála**

Moore Street Preservation Trust  
C/o Cllr Michael Mac Donnacha  
Ireland Institute  
The Pearse Centre  
27 Pearse Street  
Dublin 2  
D02 K037

**Date:** 01 November 2022

**Re:** PROTECTED STRUCTURE: for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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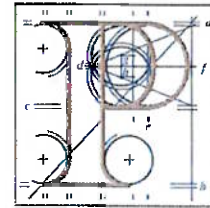
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**Our Case Number:** ABP-313947-22

**Planning Authority Reference Number:** 2863/21

**Your Reference:** Moore Street Traders Committee



An  
Bord  
Pleanála

William Doran (Tech IEI)  
7, St. Mary's Road  
Ballsbridge  
Dublin 4

**Date:** 01 November 2022

**Re:** PROTECTED STRUCTURE: for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
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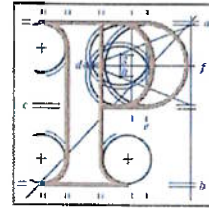
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**Our Case Number:** ABP-313947-22

**Planning Authority Reference Number:** 2863/21



**An  
Bord  
Pleanála**

Ray Bateson  
Rear Corduff Cottages, The Rise  
Main Street  
Blanchardstown  
Dublin 15

**Date:** 01 November 2022

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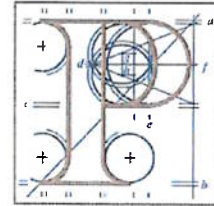
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**Our Case Number:** ABP-313947-22

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**An  
Bord  
Pleanála**

Relatives of The Signatories of The 1916 Proclama  
C/o James Connolly Heron  
4 Oxford Road  
Ranelagh  
Dublin 6

**Date:** 01 November 2022

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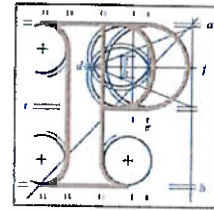
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Sean Crow  
Dáil Éireann  
Leinster House  
Kildare Street  
Dublin 2

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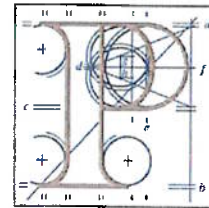
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**An  
Bord  
Pleanála**

Sinn Féin Group  
C/o Cllr Mícheál MacDonncha  
Richard O'Carroll Room  
City Hall  
Dame Street  
Dublin 2

**Date:** 01 November 2022

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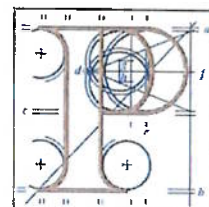
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**An  
Bord  
Pleanála**

The 1916 Relatives Moore Street Initiative  
C/o Proinsias O' Rathaille  
Altis  
Ballinclea Road  
Killiney  
Co. Dublin

**Date:** 01 November 2022

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Executive Officer  
Direct Line: 01-8737158

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Facs  
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Ríomhphost

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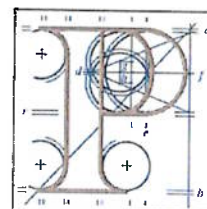
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64 Sráid Maoilbhríde  
Baile Átha Cliath 1  
D01 V902

64 Marlborough Street  
Dublin 1  
D01 V902

Our Case Number: ABP-313947-22

Planning Authority Reference Number: 2863/21



An  
Bord  
Pleanála

Troy's Family Butchers Limited  
C/o Stephen Troy  
Moore Street  
Dublin 1

Date: 01 November 2022

**Re: PROTECTED STRUCTURE:** for a period of 15 years at a site. The proposed development comprises: - A mixed-use scheme in a single building ranging in height from 2 - 6 storeys (top floor set back) over single storey localised basement. Provision of part of a new public plaza and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south. An Environmental Impact Assessment Report (EIAR) accompanies this application.  
22-25 Moore Street, 13 Moore Lane, 14-15 Moore Lane, Dublin 1.

Dear Sir / Madam,

I have been asked by An Bord Pleanála to refer to the above appeal.

It is a statutory objective of the Board to ensure that every appeal received is determined within eighteen weeks beginning on the date of receipt of that appeal. This is in accordance with section 126(2)(a) of the Planning and Development Act, 2000, (as amended). Where it appears to the Board that it would not be possible or appropriate to determine a particular appeal within this period, a notice must be sent to the parties in accordance with section 126(3)(a) of the Act.

The Board hereby serves notice under section 126(3)(a) that it will not be possible to determine the case within the statutory objective period due to a backlog of cases. The Board now intends to determine the above appeal before **27th January 2023**.

The Board will take all such steps as are open to it to ensure that the appeal is determined before that date.

Yours faithfully,

P.P. Karen Micken

Lisa Quinn  
Executive Officer  
Direct Line: 01-8737158

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